



AGENDA REPORT

Joint Study Session of the City Council & Planning Commission

MEETING DATE: July 8, 2015

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DEPARTMENT: Planning and Building

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SUBJECT:

At Home in Encinitas: Approach to the preparation of zoning standards and design guidelines for future housing and related public outreach.

RECOMMENDED ACTION:

Staff recommends the following:

1. Receive the report;
2. Receive and consider public testimony;
3. Confirm the approach to preparing zoning standards and design guidelines and related outreach.

STRATEGIC PLAN:

The action before the Council fits within the Community Planning focus area and will help achieve the goal to qualify for a certified Housing Element.

FISCAL CONSIDERATIONS:

The action before the Council is an overview of the next steps toward developing draft design guidelines and zoning code standards in support of the Housing Element Update that will be released for public review and input in fall 2015 and considered by the Council for action in early 2016. There is no fiscal impact associated with this overview. Preparing new design guidelines and zoning code standards and facilitating public outreach will be covered by the existing Department Budget.

BACKGROUND:

In October 2014, the City of Encinitas embarked on a process to update the City's Housing Plan. Because this issue was of significant interest to the public, the City began the process with a far-reaching public outreach and engagement effort. Through direct mail, door hangers, advertisements, e-newsletters, and other forms community outreach, a broad range of residents, businesses, and other community members were given the opportunity to learn more about the

1 Public input helped describe existing community design character and preferences for the character of future development.

2 Preparation of zoning code standards and design guidelines will be based on the themes identified during the initial public outreach effort.

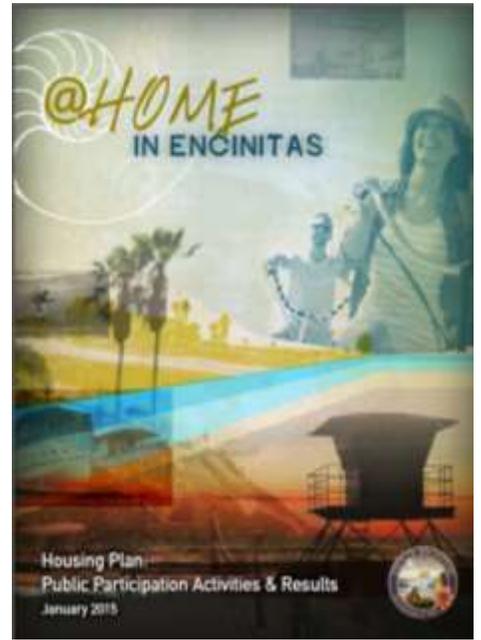
3 New or revised zoning code standards are needed to implement community preferences and the Housing Element.

4 Design guidelines will ensure that housing and mixed use development will be of high quality and reflect community design character.

housing plan update and participate in the planning process. During November and early December 2014, residents attended Community Dialogue Sessions and visited the City's online portal for collecting public input, yielding over 1,300 comments. The input received helped describe collective preferences, interests and concerns on the type of land use, density, and character of new housing development within different areas of the city. Public feedback also described character and identity in each of the five communities.

The result of the outreach effort was presented to City Council on January 21, 2015. In February, City Council, with input from the Planning Commission, ultimately directed that three conceptual housing strategy maps be studied in the Environmental Impact Report (EIR) for further analysis. Council, again with Planning Commission input, also gave direction on March 11, 2015 to City staff to submit the draft concept maps and draft goals, policies, and programs to the State Department of Housing and Community Development (HCD) for review.

To make an adequate provision for the housing needs of all income levels, a jurisdiction must provide programs to identify adequate sites with appropriate zoning and development standards. Since the City has limited land use and zoning categories that already permit multi-family housing development, new or revised zoning code standards are needed to secure a certified Housing Element. The design guidelines will ensure that housing and mixed use development would be of high quality and reflect community design character. Therefore, creating new zoning code standards and design guidelines for future projects is a critical component to the Housing Element update planning process. Coordinating this effort will also help align community-supported solutions with community character and help ensure that new development will fit within existing neighborhoods. Various actions to adopt and implement the Housing Plan require voter approval, pursuant to Encinitas Municipal Code Chapter 30.00.



ANALYSIS:

This Agenda Report provides an overview of the approach for developing the design guidelines and zoning code standards. The July 8, 2015 joint study session will be structured so that members of the Planning Commission and City Council get a feel for what the documents will look like when they are eventually are drafted along with a high level overview of the main topics

to be discussed in each. This Agenda Report also provides an overview of the second phase of public outreach and what to expect during public engagement events, which are currently scheduled to take place in fall/winter 2015.

I. Approach

During the first phase of the Housing Element Update process, the Community Dialogue Sessions presented an analysis of existing community design character and detailed examples (i.e. computer imagery) of how different “neighborhood prototypes” could fit into existing neighborhoods. Residents and community members were asked to respond to the presentation material and make comments on the various strategies for accommodating new housing. This exchange was important to help build the framework for the updated design guidelines and zoning code standards.

Design Guidelines

To maintain the visual interest of a neighborhood, it is important that the design of new buildings and renovations to existing buildings reflect desired community design character and demonstrate high quality. The proposed Design Guidelines topics (Exhibit “CC-1”) articulates the anticipated topics – organized in a hierarchy, from large-scale neighborhood character issues to small-scale building details. The design guidelines will also have special guidelines that apply only to some areas of the city where it is important emphasize community-specific character. The development of these special guidelines will be influenced by the input collected through the first phase of outreach, which occurred in fall 2014. The community will be asked to review these guidelines and provide comment during the second phase of outreach.

Design Guidelines Organization

- Chapter 1: Overarching Design Principles
- Chapter 2: Site Design Guidelines
- Chapter 3: Building Design Guidelines

The design guidelines will apply to all development projects in newly created floating zoning districts, only when the property owner takes advantage of the residential density allowance. They will not modify the nature of existing property owner rights and they will not apply to “base zoning” districts.

Zoning Code Standards

The proposed Zoning Code topics (Exhibit “CC-2”) represents the initial step in developing the foundation of updated zoning standards. To the extent feasible, existing City regulations have been utilized to prepare the zoning standards (i.e. standards from specific plans and R-20 zoning provisions).

Zoning Standards Organization

- Site Design Standards
- Building Design Standards
- Allowable Use Standards

Refer to Exhibit “CC-3” for existing zoning code excerpts. These and other similar provisions will serve as a starting point for drafting new development regulations. As noted throughout the update process, the new floating zoning district will focus on promoting quality and reflect community-supported solutions. The new floating zoning district will also need to accommodate higher density housing and mixed-use developments that meet the state’s Regional Housing Needs Assessment (RHNA) rezoning requirements. Therefore, the zoning standards will be drafted to address other relevant issues, such as project size and permitting minimum residential densities “by-right”. Exhibit “CC-2” identifies the general topic areas that will be covered by the floating zoning district.

The design guidelines are intended to promote building design that will protect and enhance neighborhood character.

The zoning code standards will establish maximum and minimum dimensional requirements for development, along with allowable uses.

It is anticipated that a floating zoning district will be created to provide a flexible tool that is available to replace the existing zoning designations when a property owner chooses to develop as allowed by the Housing Plan. Property owners will be able to determine when and/or if a property will redevelop with higher density housing. The floating zoning district will offer property owner and developers a “light set” of incentives that will encourage private redevelopment, such as flexible setback standards, innovate parking solutions, etc. which will yield site specific amenities that benefit the surrounding neighborhood and community.

The design guidelines are intended to promote building design that will protect and enhance neighborhood character. The zoning code standards will establish maximum and minimum dimensional requirements for development, along with allowable uses. When the two documents are drafted and ultimately approved, application of the guidelines and code standards will be a mandatory step in the permit review process. The sample format and “look” for the new documents are provided in Exhibit “CC-4”.

II. Outreach

Up to this point, public outreach has been heavily emphasized in the planning process to ensure the Housing Plan reflects the community’s vision for the future. Input received through the Community Dialogue Sessions helped identify the vision for potential land use changes in each community and establish a preliminary set of themes that reflect the City’s special qualities. For the City Council and the public to make informed decisions about the plan, it will be important to continue to engage the public in this effort. Exhibit “CC-5” provides a guide for continued public outreach.

As noted in the attachment, City staff will advertise future meeting events or draft document releases in more than one media, electronic and/or print. For future Community Dialogue Sessions, events, display advertisements will be run in local newspapers and



electronic roadside signs will be placed at key roadways and/or intersections. In addition, community groups will be notified of all meeting events or host-meeting opportunities. Notifications will be placed on the City's webpage (www.encinitasca.gov) and posted on an updated project website at www.athomeinencinitas.info.

III. Schedule

As noted previously in the Agenda Report, the City sought to obtain a significant amount of public input on potential sites for future housing before the plan was developed for consideration. Since then, significant progress has been made and the project remains on schedule. The draft Housing Plan was officially submitted to HCD. State law provides 60 days for HCD's review of draft plan submittals. Multiple rounds of review are to be expected, often due to the need to provide additional information, especially in cases where HCD does not find that the City has justified a component of the proposed plan.

With many more steps remaining in the process, the schedule to present the plan before the voters in November 2016 is highlighted below.

- Summer/Fall 2015 – Second Phase of Public Awareness and Outreach Initiated
- Fall/Winter 2015 – Public Review of Design Guidelines and Zoning Code Standards
- Winter 2015/2016 – 45-Day Public Review of Draft Environmental Analysis
- Spring 2016 – Draft EIR, mapping alternatives and policy document presented to Planning Commission and City Council for review, public discussion and decision.
- November 2016 – Public Vote

Staff will return at key milestones and to seek direction based on ongoing project review and development.

ENVIRONMENTAL CONSIDERATIONS:

The action before the City Council is statutorily exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15262, Feasibility and Planning Studies. This item involves the ongoing study related to developing an approach to prepare design guidelines and zoning code standards in support of the City's Housing Element update. This general direction does not have a legally binding effect on any possible future discretionary action. Public input received and technical information prepared during the proposed process will be utilized in preparing an Environmental Impact Report for the Housing Plan Update.

ATTACHMENTS:

- Exhibit CC-1: Proposed Design Guidelines Topics
- Exhibit CC-2: Proposed Zoning Code Topics
- Exhibit CC-3: Existing Zoning Code and Design Guidelines Excerpts
- Exhibit CC-4: Sample of Proposed Zoning Code and Design Guidelines Layout
- Exhibit CC-5: Public Participation Plan, Outreach for Phase 2

Exhibit CC-1:
Proposed Design Guidelines Topics

Preliminary Design Guidelines Outline For July 8, 2015 CC/PC Joint Session

Note: The site design guidelines would apply to new mixed use and multi-family residential development only when a property owner takes advantage of the residential densities provided in the new floating zoning district.

INTRODUCTION

The design guidelines seek to “raise the bar” for design, provide ideas and inspiration for new development, and to establish clear goals and expectations for respecting community character. The guidelines will be written to allow for flexibility and creativity, while also being solution-oriented. They will do so by providing clear intent statements for grouping of guidelines, such that alternatives may be considered when appropriate.

New design guidelines will only be effectively applied when a property owner or developer takes advantage of the residential densities provided in the new *floating zoning district*.

I.1 Relationship to the New Zoning Standards

New standards are concurrently being developed for the new *floating zoning district*. They seek to establish context-sensitive building scale and site design. Cross-references to these standards will be provided in the design guidelines.

I.2 Organization of the Guidelines Document

The guidelines document is divided into the following chapters:

- Chapter 1: Overarching Design Principles
- Chapter 2: Site Design Guidelines
- Chapter 3: Building Design Guidelines

I.3 Designing in context

This is a key concept that has been reinforced throughout the Housing Element Update process. It means that designs should respect the established urban design and architectural patterns throughout Encinitas. Each new development should promote best practices and encourage creativity. “Context” in Encinitas may be considered at two different levels: by ***Community Character*** and by ***Individual Community***.

The main ***Community Character*** contexts are:

- “Main Street” (Highway 101)
- “Neighborhood Center” (inland – traditional suburban strip shopping centers)
- “Village Center” (small-scale mixed use with a “village-like” character)

Designs may also need to respond to the ***unique communities*** of Encinitas:

- Old Encinitas
- Leucadia
- Cardiff
- New Encinitas
- Olivenhain

While the design guidelines, in general, relate to all new construction in the new *floating zoning district*, they will also point out nuances in character depending on the above differing character types.

I.4 How to Use this Document

This section will include a flow chart for how the guidelines relate to the code and how they are administered.

CHAPTER 1: OVERARCHING DESIGN PRINCIPLES

These broad design principles are intended to apply to all projects in the *floating zoning district*. The principles provide the foundation of the guidelines that follow and may be used in interpreting them.

1.1 Design with Consistency and Integrity

Each successful design in Encinitas has a coordinated design concept. Materials, massing and details are used in a consistent manner. This often is the well-composed expression of a specific architectural style; in other cases, the design may be more vernacular, even eclectic, but overall has a sense of order and place within the community.

1.2 Design with Response to Neighborhood Context

Response to setting also includes respect for the character of neighboring properties. While each design is unique, those within individual neighborhoods have a sense of relatedness, which is derived in part from building placement on a site, a repetition of uniform setbacks, and continuity in materials, massing and form.

1.3 Design with Individuality

Each building should express image – one that focuses on quality and communicates a visual richness that promotes place and that makes the housing environment unique. Designs that best represent Encinitas are aesthetically interesting, sensitive to surrounding character, and are not ostentatious or “over-the-top.” Even where a developer has built several structures in close proximity, each is an individual design. Repeated design often associated with tract development is contrary to the city’s design traditions.

1.4 Respond to the Street

A special characteristic of Encinitas’ design traditions is that a property provides details, which are visually attractive and interesting to users of the street. This may be a porch that faces the street, the artful composition of an entire building façade,

or a well-maintained landscape. In some areas, designs offer a finer grain, perhaps as an ornamental detail on the face of the building, in the treatment of a garden gate or placement of an ornamental planter at the street edge. Each reflects an acknowledgment that an individual property is a part of the greater whole and that the neighborhood is enriched by this contribution to the public way. Even modest, rustic buildings have these attributes.

1.5 Provide a Sense of Scale

Buildings and landscapes that convey a sense of scale are also a part of the design traditions in Encinitas. This scale is conveyed in the overall massing of structures as well as the way in which windows, doors, and details give a sense of a building's size and presence from the street. The texture of materials and the manner in which they are assembled do so as well. This helps one comprehend the building in the context to a person's size.

1.6 Balance Indoor and Outdoor Activity

A successful design makes use of outdoor areas as well as indoor spaces, which reflects the scenic appeal and mild climate of the setting. It is manifested in patios, gardens and decks that extend living outside. These features add green space and public space to neighborhoods. The balance of indoor and outdoor activity also influences concerns for views and privacy.

1.6 Provide a Progression of Space

Most properties have a sequence of spaces that leads from the public realm of the street, then transitions into a "semi-public" area and then ends with the private building entry. This progression may be rather extended, and include a sidewalk area and then a yard or patio, with a walkway that leads to a porch or a building entrance. This sequence may be more compressed, with a small stoop near the street edge. Nonetheless, there is in each case a sense of progression from the public to the private realm.

1.7 Design for Views

Public views to scenic attractions, including the ocean, inland bluffs, foothills, and the areas between are all key aspects of design. The mass of a building is often positioned to maximize these view opportunities and not visually detract from them.

CHAPTER 2: SITE DESIGN GUIDELINES

2.1 Parking and Service Areas

- To minimize visual and physical impacts of auto parking
- To provide parking facilities that contribute in positive ways to the project and the neighborhood
- To design bike parking areas that invites their use

(cross reference: parking standards in zoning)

2.2 Access & Connectivity

- To assure that each project facilitates convenient use of alternative modes of transportation
- To provide auto access that is convenient and minimizes negative impacts on pedestrian activity

2.3 Open Space/Recreation

- To provide open space in each project that enhances the public realm
- To provide open space that enhances livability within a project

(cross reference: open space standards in zoning)

2.4 Storm Water Management

- To integrate storm water management into projects to serve as amenities
- To manage storm water on site to the extent feasible and minimize impacts on regional systems

(cross reference: city stormwater requirements – new document)

2.5 Streetscape

- Connect private uses to the street with a clearly identifiable and inviting, pedestrian-friendly environment
- To encourage outdoor uses where they can help activate the street

2.6 Transition Areas

- Assure that infill projects will be compatible with abutting neighborhoods.
- To have edges of properties that has positive transitions rather than just screening.

CHAPTER 3: BUILDING DESIGN GUIDELINES

3.1 Building Placement

- To promote a street edge that is consistent with traditional patterns in individual contexts
- To promote visual continuity along blocks
- To help define a street edge that establishes a sense of scale

(cross reference: setback and building placement standards in zoning)

3.2 Street Level Interest

- To provide a variety of visually interesting elements to animate the street edge

3.3 Building Entry

- To provide a sense of connection with the community

3.4 Building Height

- To assure that new development appears compatible in height with buildings in the area

- To reflect the variation in building heights and promote aesthetic interest
(cross reference: building height standards in zoning)

3.5 Building Mass and Scale

- To maintain a sense of traditional building scale (widths and heights)
- To convey a sense of human scale
(cross reference: building standards in zoning)

3.6 Roof Form

- To reinforce traditional building patterns of each community
- To reduce perceived scale of buildings
- To contribute to visual interest along a street

3.7 Building Materials

- To provide a sense of human scale
- To convey high quality and durability
- To promote health and environment
- To reflect the context of the surrounding neighborhood, character or interest

3.8 Windows

- To provide a sense of human scale
- To convey high quality and transparency
- To promote a sense of being connected with the street
(cross reference: transparency standards in zoning)

3.9 Sustainable building design

- To reduce energy consumption and water usage in buildings

Exhibit CC-2:
Proposed Zoning Code Topics

**Preliminary Zoning Code Standards Outline
For July 8, 2015 CC/PC Joint Session**

Note: The text within these charts is intended as the “strategy” for each design standard. Eventually, dimensions and more specific data will be inserted. The zone code standards would apply to new mixed use and multi-family residential development only when a property owner takes advantage of the residential densities provided in the new floating zoning district.

MIXED USE – SITE DESIGN STANDARDS

MIXED USE - SITE DESIGN			
DESIGN VARIABLES	CONTEXTS		
	Neighborhood Center	Village Center	Main Street
DENSITY			
Minimum Requirements		per RHNA	
Maximum Avg. Unit Size?		Intent: to encourage affordable units	
LOT AREA AND COVERAGE			
Minimum Lot Area	Large	Medium	Small
Minimum Dims	Large	Medium	Small
Maximum % Coverage	Lowest	Medium	High
SETBACKS/BUILD-TO			
Primary Street	Medium % at Build-To range	Lowest % at Build-To range	Highest % at Build-To range
Side Street		% at Build-To range	
Side, Interior		Set dimension	
Rear (alley vs. no alley?)		Set dimension	
Rear/Side, Adjacent to low-scale SF zone		Set dimension	
PARKING & ACCESS			
Primary Street (between ROW & structure)	Not allowed	??	Not allowed
Side Street (between ROW & structure)	Set dimension setback and within set dimension of primary street		
Side, Interior	Set dimension		
Number (maximum?)	Same for all mixed use (TBD) unless X distance from transit station?		
Shared Parking & Parking Reductions	Discuss...		
Parking Exemptions	Small Lots; historic structures; in-lieu fee; off-site parking allowed within X feet		
Auto Access	From side street; limit curb cuts on primary streets; work within existing curb cuts		
OPEN SPACE			
Minimum %	Highest	Medium	Lowest
Minimum Dist. Btwn. Bldgs.	Highest	Medium	Lowest

MULTIFAMILY – SITE DESIGN STANDARDS

MULTIFAMILY - SITE DESIGN			
DESIGN VARIABLES	CONTEXTS		
	Neighborhood Center	Village Center	Main Street
DENSITY			
Minimum Dwelling Units per Acre (net)	per RHNA (awaiting official #)		
Maximum Avg. Unit Size?	Intent: to encourage affordable units		
LOT AREA AND COVERAGE			
Minimum Lot Area	Large	Medium	Small
Minimum Dims	Large	Medium	Small
Maximum % Coverage	Lowest	Medium	High
SETBACKS			
Primary Street (min.)	Medium % at setback range		High % at setback range
Side Street (min.)	Medium % at setback range		High % at setback range
Side, Interior (min.)	Set dimension		
Rear, alley/no alley (min.)	Set dimension(s)		
Side/Rear, Adjacent to low-scale SF zone	Set dimension		
PARKING & ACCESS			
Primary Street (between ROW & structure)	Not allowed	??	Not allowed
Side Street (between ROW & structure)	Set dimension setback and within set dimension of primary street		
Side, Interior	Set dimension		
Number (maximum?)	Same for all multifamily (TBD) unless X distance from transit station?		
Shared Parking & Parking Reductions	Senior Housing reductions? Reductions if provide transit pass to residents?		
Parking Exemptions	in-lieu fee; off-site parking allowed within X feet		
Auto	From side street; limit curb cuts on primary streets; work within existing curb cuts		
OPEN SPACE			
Minimum %	Highest	Medium	Lowest
Minimum Dist. Btwn. Bldgs.	Highest	Medium	Lowest

MIXED USE – BUILDING DESIGN STANDARDS

MIXED USE - BUILDING DESIGN			
DESIGN VARIABLES	CONTEXTS		
	Neighborhood Center	Village Center	Main Street
HEIGHT			
Maximum Feet		Set dimension	
Minimum Floor to Floor (Ground Floor/Upper Floors)		Set dimension(s)	
Adjacent to SF zones (transition dimension)	Set dimension within X feet of SF developments		
ARTICULATION			
Maximum Overall Wall Length (Front/Side)	Set dimension (longest)	Set dimension (shorter)	Set dimension (longest)
Maximum Wall Length before horizontal setback Upper floor setbacks	Set dimension % of façade must step back X feet (3rd floor only?)		
TRANSPARENCY			
Ground Floor % (retail/residential)		% of façade	
Upper Floors		% of façade	
MAIN ENTRY			
Location	?	?	?

MULTIFAMILY – BUILDING DESIGN STANDARDS

MULTIFAMILY - BUILDING DESIGN			
DESIGN VARIABLES	CONTEXTS		
	Neighborhood Center	Village Center	Main Street
HEIGHT			
Maximum Feet/Stories (Pitched vs. Flat)		Set dimension	
Minimum Floor to Floor and Raised Ground Floor		Set dimension	
Adjacent to SF zones (transition dimension)	Set dimension within X feet of SF developments		
ARTICULATION			
Maximum Overall Wall Length (Front/Side)	Set dimension (longest)	Set dimension (shorter)	Set dimension (longest)
Maximum Wall Length before setback Upper floor setbacks	Set dimension % of façade must step back X feet (3rd floor only?)		
MAIN ENTRY			
Location	?	?	?

Exhibit CC-3:
Existing Zoning Code and Design Guidelines
Excerpts

3. HIGHER DENSITY SINGLE-FAMILY AND MULTIPLE-FAMILY RESIDENTIAL ZONES

ZONE REQUIREMENT	R-15	R-20	R-25	MHP
a. Density (Maximum dwelling units per net acre)	15.0	20.0	25.0	11.0
b. Midrange Density (See Section 30.16.010B1&B2)	13.0	17.5	22.5	9.5
c. Net Lot Area (sq. ft.)	20,000	20,000	20,000	
d. Lot Width (ft)	100	100	100	
e. Lot Depth (ft)	150	150	150	
f. Front Yard Setback (ft)	20	20	20	
g. Side Yard Setback (ft.) for each interior side (Standard Lot) ⁵	15/15	15/15	15/15	
h. Side Yard Setback (Substandard Lot) street side ^{3,5}	5/5	5/5	5/5	
i. Street Side Yard Setback, (Standard Lot) (ft.) ⁵	20	20	20	
j. Street Side Yard Setback (Substandard Lot) ^{3,5}	10	10	10	
k. Rear Yard Setback (ft.)	15	15	15	
l. Rear Yard Setback Where Alley Exists	20	20	20	
m. Lot Coverage (maximum percentage)	40	40	40	
n. Building Height (See 30.16.010B6)				
o. Distance between buildings on the same lot less than 16 ft. in height	15	15	15	
p. Distance between buildings on the same lot greater than 16 ft. in height	20	20	20	

FOOTNOTES

1. Requires a minimum 5 ft. side yard setback for both side yards, unless a zero lot line development is proposed. For zero lot line development, a 5 ft. minimum side yard setback is required for one side yard with a zero yard setback where the two units have common walls.
2. See Section 30.16.010C4 and D10.

CHAPTER 30.20COMMERCIAL ZONES30.20.010. Development Standards.

A. The development standards described in the table below shall apply to the Commercial zones and are minimums unless otherwise stated. These standards shall apply to all land and buildings other than accessory buildings, permitted in their respective commercial zones. In addition to the development standards provided in this Chapter, each specific plan identified in Chapter 30.84, Specific Plans, may have separate development standards for Commercial zones in their jurisdictional boundaries. Refer to individual specific plans, as referenced in Chapter 30.84, for development standards in Commercial zones within adopted specific plans. (Ord. 94-02)

ZONE REQUIREMENT	ZONE OP	ZONE L-LC/LC	ZONE GC	ZONE L-VSC/VSC
1. Net Lot Area (square ft)	10,000	10,000	10,000	10,000
2. Lot Width (ft)	100	100	100	100
3. Lot Depth (ft)	100	100	100	100
4. *Front Yard Setback (ft)	20	20	20	20
5. *Side Yard Setback (ft) for each interior side	10/10	10/10	10/10	10/10
6. *Side Yard Setback (ft) street side	20	20	20	20
7. Rear Yard Setback (ft)	0	0	0	0
8. Lot Coverage (maximum percentage)	40%	30%	30%	35%
9. Building Height (maximum) See Section 30.20.010C6	30 feet or two stories, whichever is less			

C. Building Design. In all commercial zones, the following development standards related to building design shall apply:

1. Visual relief shall be provided for linear buildings by the use of architectural projections or recessed areas that create the appearance of smaller adjoining buildings.
2. The proportion, size, and shape of new or renovated buildings shall be compatible with existing desirable structures in the same area.
3. All buildings are encouraged to minimize energy consumption, using such features as:
 - a. Cogeneration
 - b. Solar access
 - c. South facing windows with eave coverage
 - d. Double glazed windows
 - e. Deciduous shade trees
 - f. Earth berming against exterior walls
 - g. Good ventilation
 - h. Efficient lighting
 - i. Day lighting
4. Buildings with a monochromatic appearance shall be avoided through the use of complementary colors.
5. All signs associated with the buildings and site shall be integrated in terms of both architecture and color and shall comply with applicable City sign regulations contained in Chapter 30.60. (Ord. 97-17)
6. Building heights may be modified or lowered in order to maintain a reasonable portion of the significant views enjoyed by nearby properties. (Ord. 89-41)

Where a project is subject to design review pursuant to Sections 23.08.030 and 23.08.040 of the Encinitas Municipal Code, applicants should review these design guidelines. These guidelines shall be used prior to initiating the project design and throughout the design process. Specific plan areas contain separate design guidelines, and applicants for projects located in those areas should instead refer to the design recommendations in the applicable specific plan.

1. Introduction and Background

1.1 Community Description

The City of Encinitas is a unique collection of 5 distinct communities. The individuality of each Community is vital to the overall character of the City and shall be maintained. Architecture, landforms, landscape and streetscape are the primary determinants of this character. The City of Encinitas also is fortunate in that it contains a wide variety of topographic features. The city is bounded on the north and south by lagoons and their associated valleys. The Pacific Ocean lies to the west and steeper inland hills lie to the east.

Three of the communities are located along the coastline (Cardiff-by-the-Sea, Old Encinitas and Leucadia) and represent the older established beach communities. The primary land use is single-family residential, with some multi-family closer to the beach. Commercial/office uses are located typically along Highway 101 on small lots. Highway 101 and the I-5 Freeway traverse these communities. The combination of varied architecture, narrow uncurbed streets, pedestrian orientation, and mature, unplanned landscaping creates an informal, eclectic, small town feel that dominates the character of these communities.

The New Encinitas Community is centrally located within the City. A variety of land uses are located within the community with the primary land use being single-family residential. Major institutional and commercial uses are located along El Camino Real, the prime arterial roadway for the City, and Encinitas Boulevard. This

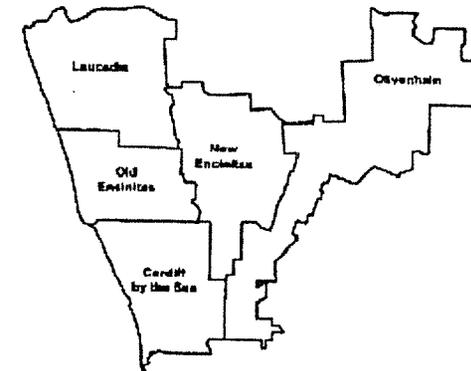


Figure 1-1
Communities of Encinitas

community is considered more of a planned community with a variety of private and public open space areas.

The Olivenhain Community is a rural community with an informal character having large residential lots, mature landscaping, equestrian facilities, open space, a variety of recreational trails, and rolling hills and canyons. Narrow roads with minimal improvements are associated with this rural community.

1.2 Background

To help develop the design guidelines for Encinitas, a series of community character workshops were conducted in November of 1999. At the conclusion of the five workshops, a common theme for each of the communities could be seen. There was pride in the prevailing character, especially in the older communities, and a concern that the inappropriate use and reuse of land was having a negative impact on the character of the communities.

Please refer to the City of Encinitas Community Character Workshops Summary Report, October 2000, for more information regarding these workshops.

1.3 Purpose of the Guidelines

The purpose of these guidelines is to guide development within the City of Encinitas toward design that is consistent with the character of each community. Architecture, landscaping and site planning are important to preserving the individual identity of each community.

The Design Guidelines are intended to promote well-designed development in Encinitas. The interpretation and implementation of the Design Guidelines shall be based on the following points:

- (1) Maintain and enhance the character of each community;
- (2) Contribute to a positive physical image and identity;
- (3) Supplement the development standards of the Encinitas Municipal Code on matters of design and aesthetics;
- (4) Implement the goals, objectives, and policies of the General Plan;
- (5) Maintain and protect the value of property; and
- (6) Maintain community character without unduly restricting private enterprise, or innovation in design.

2. Site Planning Guidelines

One of the key elements defining the City of Encinitas is the land. Site planning is perhaps as important as the buildings themselves. The location and "footprint" of a structure on each individual parcel and the relationship with nearby buildings, open space, and properties are critical to the overall character of any project. The varied physical environment within the City means special attention shall be given to the location and spacing of each structure. To maintain visual character, the following visual concepts and guidelines should be followed as closely as possible.

2.1 Guiding Principles

- 2.1.1 *The opportunities and constraints of the site shall determine the project layout and design.*
- 2.1.2 *Natural assets, such as significant trees, rock outcroppings, natural landforms, creeks and riparian habitats should be preserved and incorporated into the project.*
- 2.1.3 *The impacts on surrounding uses, both existing and proposed, shall be considered in a project's site plan.*

- 2.1.4 *The existing character of the land, landscape and structures shall be considered in any new development.*
- 2.1.5 *Impacts to significant views from surrounding properties should be minimized by the new development. (See Section 2.5)*
- 2.1.6 *Site planning should not be repetitive, but should provide a varied experience.*
- 2.1.7 *Site planning should be used as one of many tools to break up or mitigate the bulk and mass of a building.*

2.2 Guidelines

Unless otherwise stated, the guidelines shall apply to both residential and non-residential uses. The Site Planning Guidelines are contained in the following sections: Treatment of Building Setback Areas; Building Location; Views; Separations and Buffers; Storage, Service, and Loading Areas; Refuse Collection Areas; Mechanical Equipment; and Electrical Equipment.

2.3 Treatment of Building Setback Areas

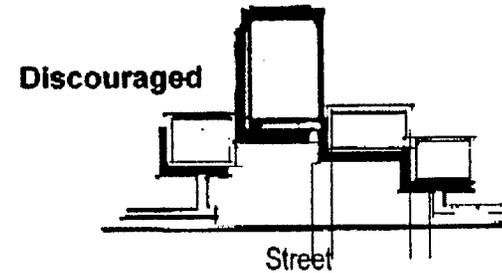
- 2.3.1 The project should include open and private areas along the street in a manner consistent with the character of the neighborhood.
- 2.3.2 Varied, articulated spaces between buildings, and along the street shall be encouraged.
- 2.3.3 Vehicular sight lines that allow safe ingress and egress to properties and safe movements along roadways shall be provided.

- 2.4.4 Buildings should be located to create useable and functional exterior spaces in scale with the building.
- 2.4.5 Emphasis on pedestrian use of exterior space is encouraged (See Figure 2-1).

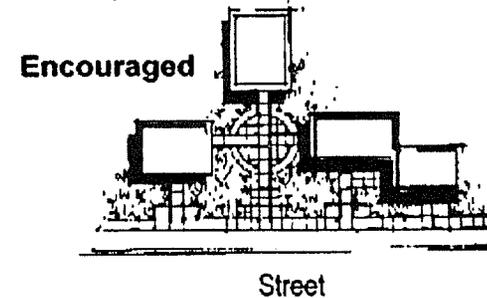
2.4 Building Location

- 2.4.1 Buildings should be located to create landscaped open spaces for human use. Open space areas should be linked visually and/or physically in order to integrate them into an area-wide wide-open space system.
- 2.4.2 The orientation of buildings, especially those in clusters, should be carefully designed to preserve and/or create view corridors.
- 2.4.3 The location of buildings should take into consideration the location of buildings on adjacent properties in order to enhance and complement existing adjacent plazas, courtyards and pedestrian spaces.

Figure 2-1
Design for
Pedestrian
Use



Layout does not promote effective pedestrian circulation or connections.



Layout does promote effective pedestrian circulation and connections. Also, usable "outdoor rooms" are created between the buildings that are not just left over areas between buildings.

2.4.6 Buildings should be placed to create variety in external space and create a varied street facade (See Figures 2-2, 2-3, and 2-4).

*Figure 2-2
Encourage
Building
Compatibility
And Variety*

Rectangular plans and variations of the rectangle can encourage compatibility and variety.



Avoid long buildings without a break in the plane or facade.



Discouraged

Encouraged

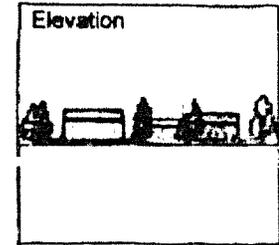
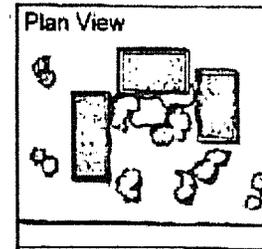
*Figure 2-3
Avoid Long
Buildings*

2.4.7 Buildings should be located, and/or designed, to help breakup or mitigate building mass.

2.4.8 Surface parking spaces for multi-family projects should be placed to the rear of the buildings, where possible.

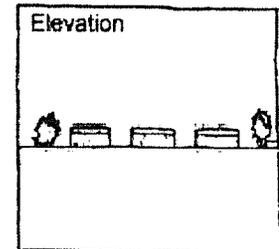
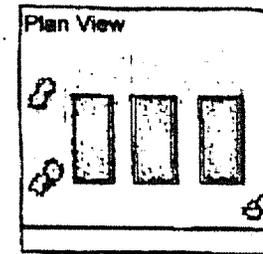
2.4.9 Parking areas for multi-family and non-residential uses that are visible from the street should be screened

*Figure 2-4
Varied Street
Scenes*



Encourage "enclave" building layout.
Encourage varied street scenes.

Encouraged



Avoid linear "repetitive" building layouts.

Discouraged

from view by walls, fences, vegetation, planters, or other means.

2.4.10 In order to provide visual openness and pedestrian scale along major streets, heights of buildings or portions of buildings should generally be lower

3. Grading and Landform Guidelines

The purpose of this section is to provide design guidelines for grading projects within Encinitas. These guidelines are intended to create landforms that work together with the surrounding topography, existing vegetation, circulation, and land features as well as other elements of the total project site.

3.1 Guiding Principles

- 3.1.1 *Development shall consider the constraints and opportunities of the site and adjacent property.*
- 3.1.2 *The project grading should be sensitive to the existing site topography.*
- 3.1.3 *The view of the graded landform from private properties and public areas should reflect the existing landform character and minimize a manufactured appearance.*
- 3.1.4 *Significant natural features shall be incorporated into developments including, but not limited to, rock outcroppings, natural drainage courses, trees, and other visual assets of the site to the extent possible while adhering with the allowed density of the underlying zone.*

- 3.1.5 *Excessive grading should be avoided and removal of vegetation shall be limited to the minimum necessary.*
- 3.1.6 *Pads shall not be significantly "built up" above existing topography, unless no feasible alternative exists given engineering constraints.*

3.2 Guidelines

Unless otherwise stated, these guidelines shall apply to all development.

- 3.2.1 The overall architecture shall complement and reinforce the existing topography.
- 3.2.2 Rather than using extensive grading to create one large pad, projects should create smaller pads gradually terracing up hillsides where feasible. This produces smaller slopes that are more easily re-vegetated, visually less obtrusive and more suitable for slope contouring and blending.

3.2.3 Long, continuous slopes that have hard edges, sharp, angular forms and no transition areas at the top or toe of the slope shall be avoided. "Natural" landform contour grading smoothed to blend with the surrounding natural terrain and with rounding and blending at the top and toe of the slope shall be used to create a more natural appearing slope (See Figures 3-1 and 3-2).

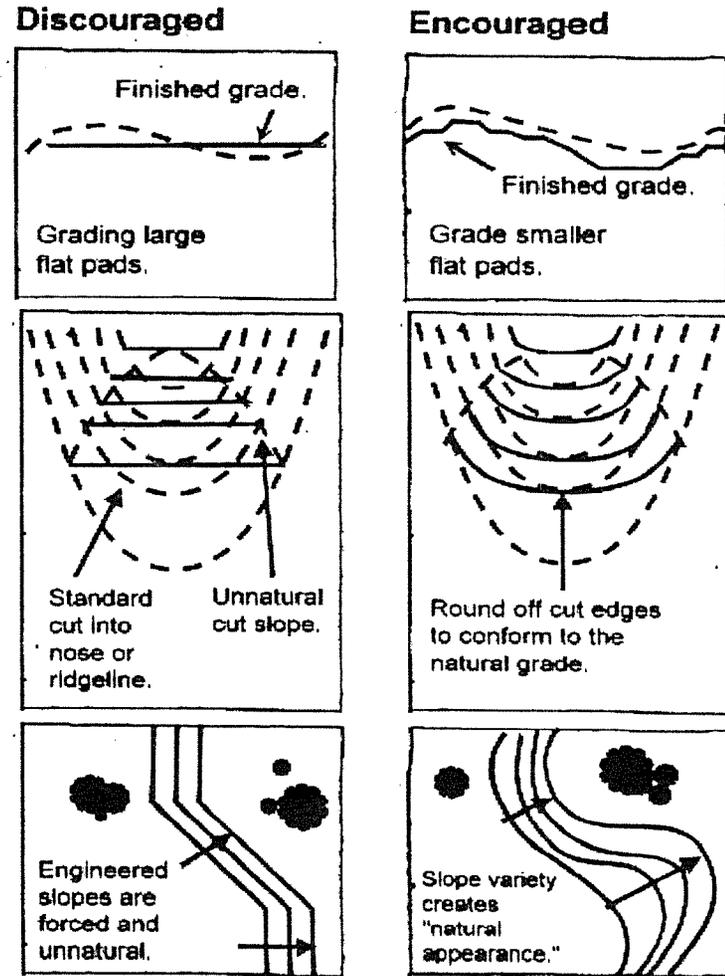


Figure 3-1 Alternative Grading Techniques

Exhibit CC-4:
Sample of Proposed Design Guidelines and Zoning
Code Layout

Sample Format Design Guidelines



THE UNIFIED DEVELOPMENT CODE & THE DESIGN GUIDELINES

The City has adopted a Unified Development Code (UDC) to guide development throughout the city. The guidelines work with the UDC to help ensure that projects are consistent with community objectives and protect the community's distinct character. The UDC is organized around context-based zoning districts and related building types as described below.

Property owners are strongly encouraged to coordinate with City staff early in the design process to ensure that projects meet all UDC zoning standards prior to entering the design review process.

UDC ARTICLES & DISTRICTS

The UDC groups zone districts into articles that recognize general contexts for development throughout the city (i.e., UDC Article 3 "Residential Districts.") The design guidelines provide citywide guidance, as well as more specific strategies for the general contexts recognized in the UDC (i.e., design guidelines Chapter 2 "Residential & Civic Districts.")

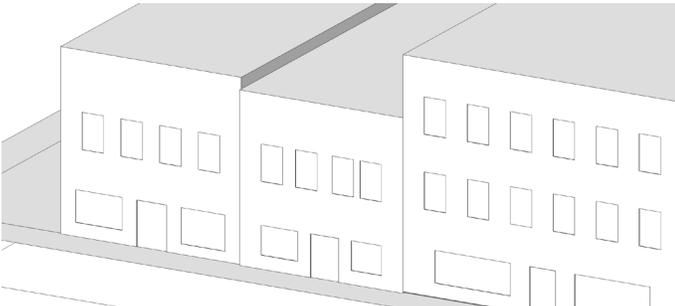
UDC BUILDING TYPES

Within each zone district, the UDC organizes design standards according to the building types that are permitted in that district, such as "Townhouse" or "Mixed Use Building." Most design guidelines apply to any building type built in a particular location. However, in some cases, the guidelines also provide strategies that apply to specific building types.

UDC ZONING STANDARDS VS. DESIGN GUIDELINES

As illustrated below, the UDC and design guidelines work together to shape compatible development. The UDC addresses basic design considerations while the design guidelines provide greater detail to ensure design compatibility on a case-by-case basis.

ZONING STANDARDS



Zoning standards in the Unified Development code address height, setbacks, transparency and other design elements. Because they are quantitative and do not require discretionary review, such standards provide a high level of predictability.

DESIGN GUIDELINES



The design guidelines in this document build on the UDC standards to address more detailed design considerations such as building massing and compatibility with surrounding context. Because they are discretionary and require interpretation, guidelines are not as predictable as design standards, but offer greater flexibility.

Figure 1: The Unified Development Code & The Design Guidelines

SAMPLE GUIDELINE FORMAT

To facilitate ease-of-use, the individual design guidelines in this document use a standard format. The format includes topic headings, intent statements related to the topic, numbered design guidelines, additional information about appropriate strategies and illustrations or diagrams. The diagram below uses a sample design guideline from Chapter 1 to illustrate each key element.

A → Building Guidelines for All Districts

Building Mass & Scale



Organize building articulation to reflect traditional building dimensions.



Use moldings, columns, a change in material, or offset in the wall plane to define vertical modules.

GUIDELINES FOR BUILDING MASS & SCALE IN ALL DISTRICTS

B → 1.31 Establish a sense of human scale in the design of a building.

- C →
- Use materials that convey scale in their proportion, detail and form.
 - Define the ground floor with a canopy, fenestration, change in materials or building step back.
 - Step back a larger building mass from the street wall when possible to reduce looming effects.

KEY TO THE SAMPLE DESIGN GUIDELINE ABOVE

A **The Design Topic** is indicated with a heading at the top of each page. In some cases, a subtopic is included in black text at the right.

B **Design Guidelines** describe an intent or desired outcome. They are numbered by chapter for easy reference.

C **Additional Information** is provided as a lettered list beneath each guideline to describe specific approaches and strategies related to the guideline.

D **Illustration(s)**, including photographs and diagrams, are provided to support the design guidelines.

✓ **A check mark** on an illustration indicates an approach that is generally appropriate.

✗ **An X mark** on an illustration indicates an approach that is generally inappropriate.

Figure 2: The Unified Development Code & The Design Guidelines

SUSTAINABLE DESIGN PRINCIPLES

The site and building design guidelines in this chapter promote sustainable design principles to reduce the environmental impacts of new development and provide cost savings. Several specific sustainable design principles and elements are summarized below.

PEDESTRIAN-ORIENTED DESIGN



Locating and designing new development to incorporate pedestrian connections and access to transit systems reduces vehicle miles and emissions.

HISTORIC PRESERVATION



Historic preservation supports walkable neighborhoods, preserves the energy embodied in existing buildings and reduces landfill impacts.

LOW IMPACT DEVELOPMENT



Sites that incorporate Low Impact Development principles to manage stormwater make more efficient use of land and may help increase water quality as described on page 17.

LOW WATER PLANTINGS



Selection of site-appropriate, low water-use plants reduces operational costs and enhances drought resilience.

REDUCED HEAT ISLAND EFFECT



Deciduous shade trees, vegetative ground-cover, and reduced paving helps minimize the urban heat island effect during the summer and allows solar gain during the winter.

BUILDING DESIGN/ORIENTATION



Orienting buildings to harvest winter sun and repel summer heat gain saves energy. Porches/patios oriented to the southeast maintain access to winter sun and minimize summer heat.

BUILDING MATERIALS



Durable/recycled building materials reduce manufacturing and landfill impacts. Use of local materials may also reduce a building's overall carbon footprint.

ENERGY-SAVING FEATURES



Features include window elements such as solar screens, shades and light shelves to reduce solar gain and increase natural daylighting.

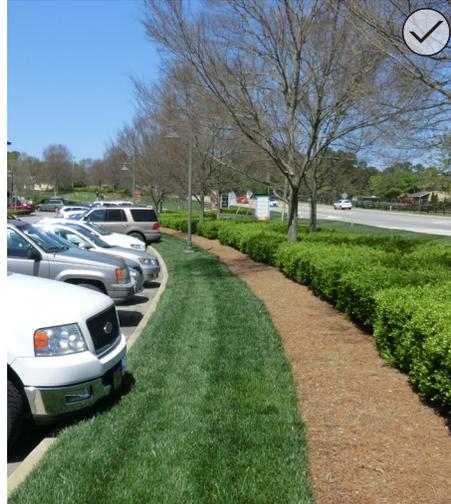
ADDITIONAL CONSIDERATIONS



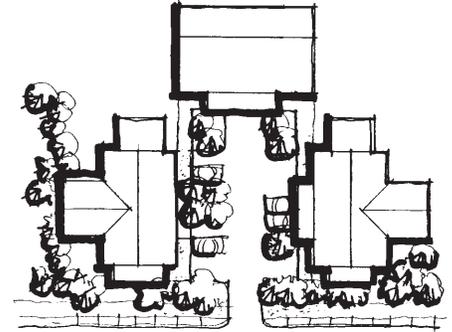
Additional considerations include:

- » Energy-generating systems
- » Composting of organic waste
- » Water-harvesting from buildings

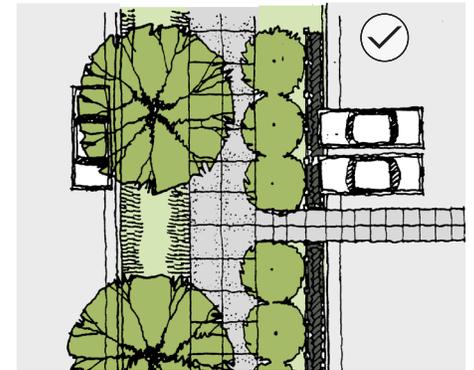
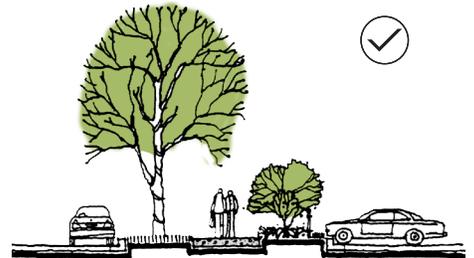
Figure 3: Sustainable Design Principles



Soften the view of parked cars from a public sidewalk or street using a planted buffer of trees, shrubs and ground cover.



Use shared drives to access surface parking areas, whenever possible.



Soften the view of parked cars where surface parking abuts a public sidewalk with a planted buffer of trees, shrubs and ground cover.

GUIDELINES FOR SURFACE PARKING IN ALL DISTRICTS

1.1 Minimize the visual impact of surface parking.

- Locate a parking area to the interior of a site. This is especially important on a corner property where the street wall should have a sense of enclosure.
- Divide a large parking area into small “pods” that maintain the traditional sense of smaller parking areas within a green landscape as required by the UDC.
- Soften the view of parked cars from a public sidewalk or street using a planted buffer of trees, shrubs and ground cover, or a low wall constructed from materials compatible with the site.
- Site a surface parking lot to be compatible with the surrounding context and street frontage.

1.2 Use shared drives to access surface parking areas, whenever possible.

- Minimize the number of curb cuts along a block.
- Provide cross-property easements to share driveways and reduce the need for additional curb-cuts, when feasible.
- Avoid parallel road conditions, in which two abutting properties have separate driveways.
- See “Connectivity” on page 20 for more information.

UDC SURFACE PARKING STANDARDS

Zoning standards in the Unified Development Code (UDC) require landscaped perimeter screening, interior islands and median islands within a surface parking lot. The UDC also limits parking between buildings and the street in many zone districts. The design guidelines build on UDC standards to further address parking location and impacts.



Regrade the site as a stable, "natural" slope, when feasible.



Terrace retaining walls on steeper slopes to minimize the height of individual walls.

GUIDELINES FOR WORKING WITH TOPOGRAPHY IN ALL DISTRICTS

1.3 Minimize the visual impacts of cut and fill on a site.

- a. Divide large grade changes into a series of benches and terraces, where feasible.
- b. Regrade the site as a stable, "natural" slope, when feasible.
- c. Terrace parking lots on steep slopes, following site contours.

1.4 Design a retaining wall to minimize impacts on the natural character of the site.

- a. Terrace retaining walls on steeper slopes to minimize the height of individual walls.
- b. Use high quality materials such as brick and stone in the design of a retaining wall.
- c. Integrate landscaping into the design of a retaining wall.

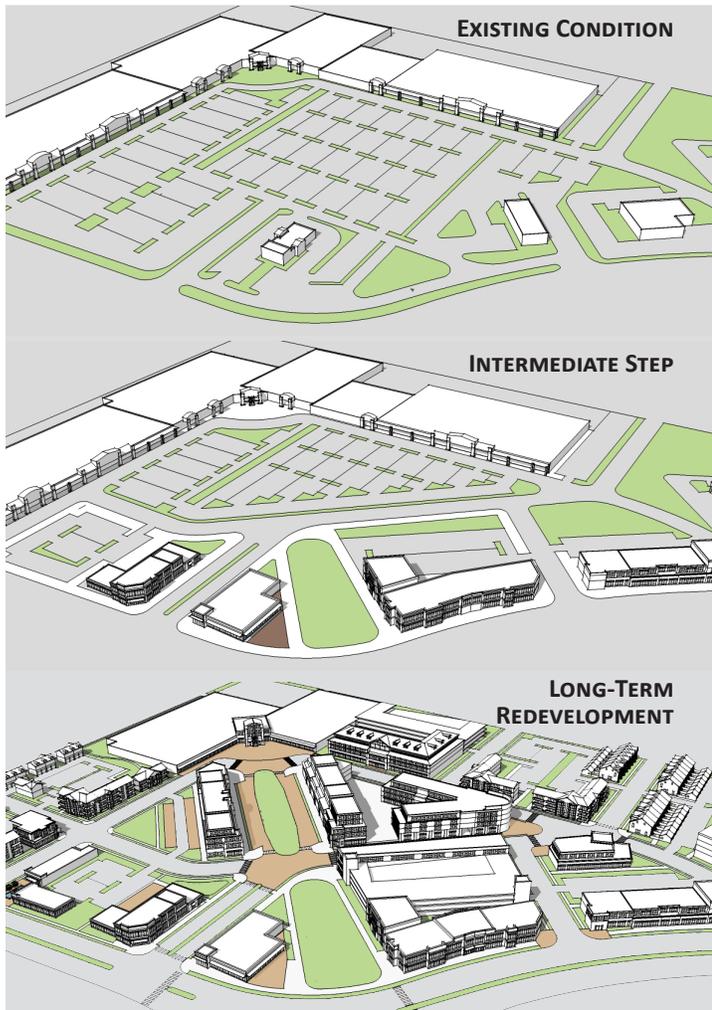
1.5 Design a building foundation to conform to the existing topography.

- a. Step the foundation of a building to follow site contours, when feasible.
- b. If stepping the foundation is not possible, disguise the cut with building placement and/or building walls, and provide a landscape buffer system at the top of cut.



Integrate landscaping into the design of a retaining wall.

DEVELOPMENT PHASING



Redevelopment of existing sites may be incremental, with short-term improvements anticipating later phases of development.

In the example illustrated above, new “pad site” buildings (middle) improve the edges of an existing shopping center site (top) as an intermediate step towards long-term redevelopment into a mixed-use center that incorporates some existing buildings (bottom). See pages XX and XX for more information on the long-term redevelopment scenario illustrated above.

Where an incremental improvement is consistent with the intent of the UDC zoning standards and design guidelines, some flexibility in the application of standards and guidelines may be appropriate.



Place improvements to enhance the pedestrian environment. For example, new buildings and public open space areas may be located to create a pedestrian gateway into the site.

GUIDELINES FOR PHASED IMPROVEMENTS

1.6 Locate incremental improvements to anticipate future phases of development.

- a. Locate small-scale improvements to increase compliance with UDC zoning standards and the intent of the design guidelines. For example, an addition to an existing building should be located to enhance the street frontage and increase compliance with the UDC “Build-to Zone” standards described on Page 23.
- b. Locate small-scale improvements to accommodate future vehicular and pedestrian connections. For example, parking areas and drive aisles may be set up to accommodate future redevelopment as illustrated in the “Intermediate Step” at left.

1.7 Locate and design incremental improvements to enhance the pedestrian environment of an existing development.

- a. Place improvements to enhance the pedestrian environment. For example, new buildings and public open space areas may be located to create a pedestrian gateway into the site.
- b. Plan for later pedestrian improvements, such as connections between the street and interior buildings, or to an adjacent neighborhood, when locating a new building or addition.

Article 4. Corridor and Node Districts

Sec. 4.1. District Intent Statements

- 4.1.1. RX-: Residential Mixed Use 4-2
- 4.1.2. NX-: Neighborhood Mixed Use 4-2
- 4.1.3. CX-: Commercial Mixed Use 4-3
- 4.1.4. SH-: Shopfront Mixed Use 4-3
- 4.1.5. CC-: Commercial Corridor 4-4
- 4.1.6. PV-: Parkway Village 4-4
- 4.1.7. CH-: Commercial Heavy 4-5

Sec. 4.2. District Components

- 4.2.1. Applicability 4-6
- 4.2.2. District Height Requirements 4-6
- 4.2.3. Application of Height Designations 4-6

Sec. 4.3. Building Type Standards

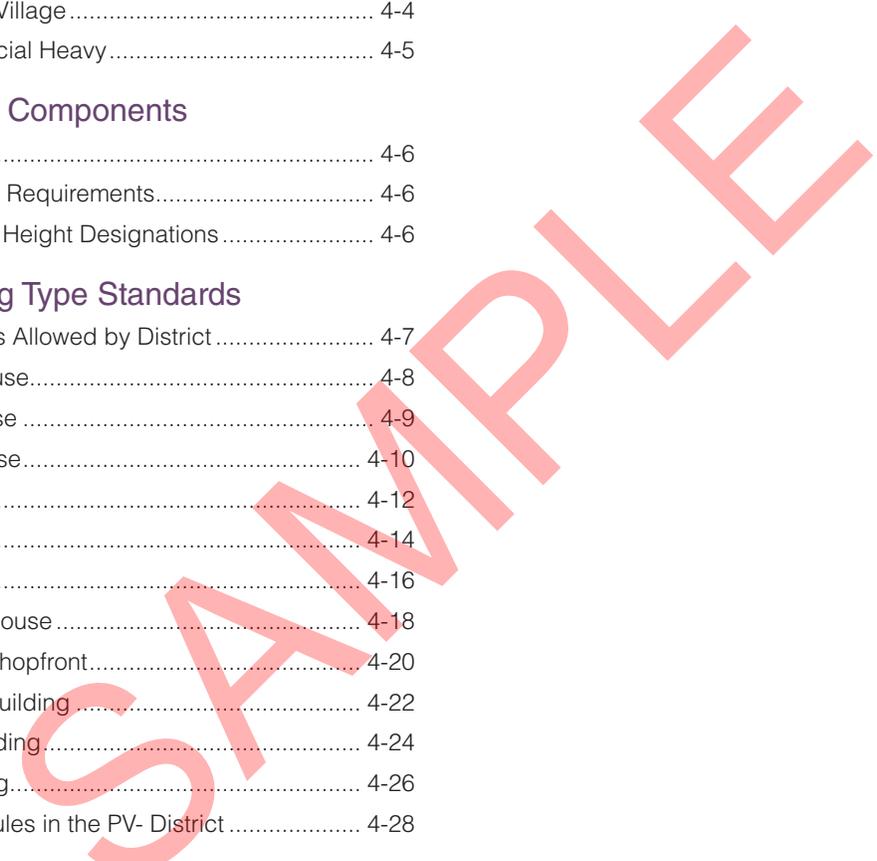
- 4.3.1. Building Types Allowed by District 4-7
- 4.3.2. Detached House 4-8
- 4.3.3. Carriage House 4-9
- 4.3.4. Attached House 4-10
- 4.3.5. Townhouse 4-12
- 4.3.6. Walk-Up Flat 4-14
- 4.3.7. Stacked Flat 4-16
- 4.3.8. Commercial House 4-18
- 4.3.9. Single-Story Shopfront 4-20
- 4.3.10. Mixed Use Building 4-22
- 4.3.11. General Building 4-24
- 4.3.12. Civic Building 4-26
- 4.3.13. Additional Rules in the PV- District 4-28

Sec. 4.4. Neighborhood Compatibility

- 4.4.1. Applicability 4-30
- 4.4.2. Landscape Buffers 4-30
- 4.4.3. Building Setbacks 4-30
- 4.4.4. Bulk Plane 4-30

Sec. 4.5. Allowed Uses

- 4.5.1. Use Categories 4-31
- 4.5.2. Use Table 4-31



4.1.3. CX-: Commercial Mixed Use



CX- is intended to provide for a variety of residential, retail, service and commercial uses. While CX- is primarily a commercial/retail district, the inclusion of residential and employment activity is strongly encouraged in order to promote live-work and mixed use opportunities.

4.1.4. SH-: Shopfront Mixed Use



SH- should be used sparingly and is intended for areas where a high level of walkability and pedestrian activity is desired. The SH- district is intended to create a “main street” type of environment, therefore, only single-story shopfronts and mixed use buildings are allowed.

Sec. 4.3. Building Type Standards

4.3.1. Building Types Allowed by District

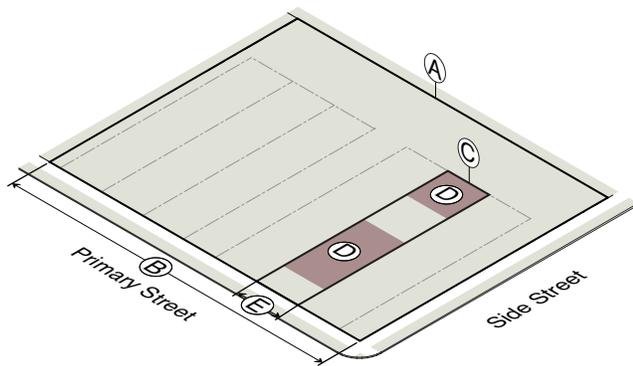
Building types (as defined in Sec. 2.1.) are allowed by district as shown below.

BUILDING TYPE	RX-	NX-	CX-	SH-	CC-	PV-	CH-
 Detached House	■	■	■			■	
 Carriage House						■	
 Attached House			■			■	
 Townhouse	■		■		■	■	■
 Walk-Up Flat	■		■		■		■
 Stacked Flat	■		■		■		■
 Commercial House		■	■		■	■	■
 Single-Story Shopfront		■	■	■	■	■	■
 Mixed Use Building		■	■	■	■	■	■
 General Building		■	■		■	■	■
 Civic Building		■	■		■	■	■

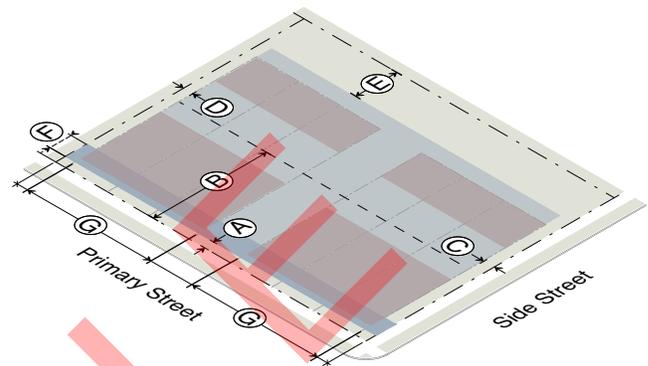
■ = Building type allowed

4.3.5. Townhouse

1. Lot



2. Placement



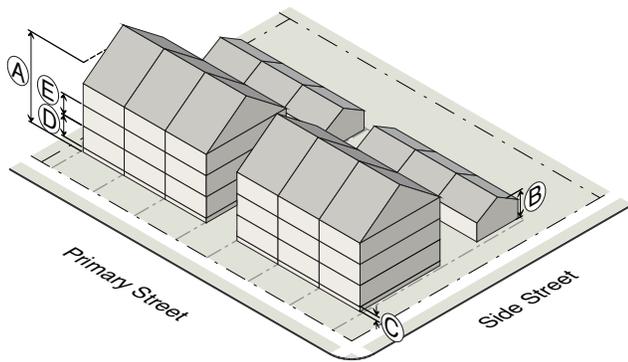
Site Dimensions	
Ⓐ Site area (min)	6,000 sf
Ⓑ Site width (min)	70'
Lot Dimensions	
Ⓒ Lot area (min)	1,500 sf
Ⓓ Building coverage (max)	75%
Ⓔ Unit width (min)	20'

Building Setbacks ⁽¹⁾	
Ⓐ Primary street - principal buildings (min)	5'
Ⓑ Primary street - accessory structures (min)	40'
Ⓒ Side street (min)	5'
Ⓓ Side interior, end unit only (min)	5'
Ⓔ Rear (min)	20'
Ⓕ Alley	4' or 20' min

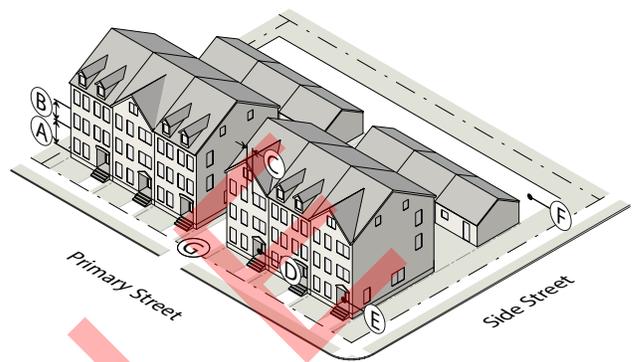
Build-to Zone (BTZ) ⁽¹⁾	
Ⓖ Primary street (min/max)	
RX-, CX-, PV-	5"/20'
CC-	5'/85'
CH-	n/a
Ⓖ Building in primary street BTZ (min % of lot width)	75%

⁽¹⁾ Additional setbacks apply in the PV- district when abutting Highway 92 (see [Sec. 4.3.13](#)).

3. Scale



4. Activation

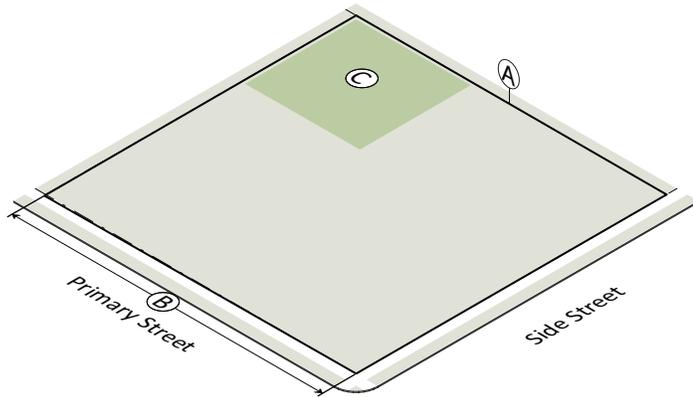


Building Height	
Ⓐ Principal building (max)	2/3 stories
Reduced height may be required when abutting a protected district (see Sec. 4.4.)	
Ⓑ Accessory structure (max)	24'
Ground Floor Elevation	
Ⓒ Ground floor elevation (min)	2'
Story Height	
Ⓓ Ground story height, floor to ceiling (min)	9'
Ⓔ Upper story height, floor to ceiling (min)	9'

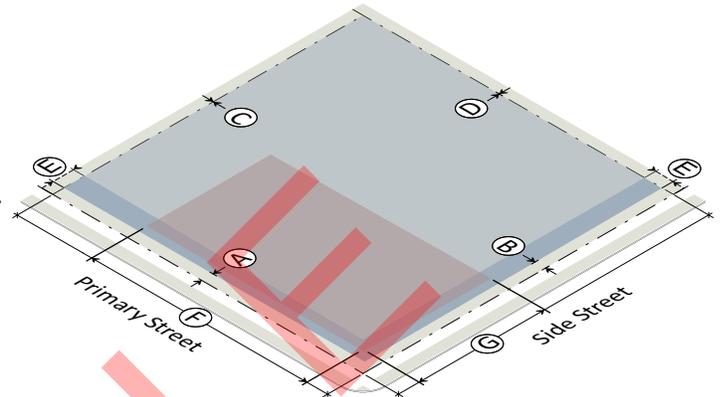
Transparency	
Ⓐ Ground story, primary/side street (min)	20%
Ⓑ Upper story, primary/side street (min)	20%
Ⓒ Blank wall area, primary/side street (max)	30'
Pedestrian Access	
Ⓓ Entrance facing primary street (each ground floor unit)	Required
CH- exemption	n/a
Permitted Building Elements	
Ⓔ Front porch, stoop, balcony, forecourt	Allowed
Vehicle Access	
Ⓕ Parking location options	see Sec. 2.2.19
Ⓖ Front yard parking restrictions	see Sec. 2.2.20

4.3.7. Stacked Flat

1. Lot



2. Placement

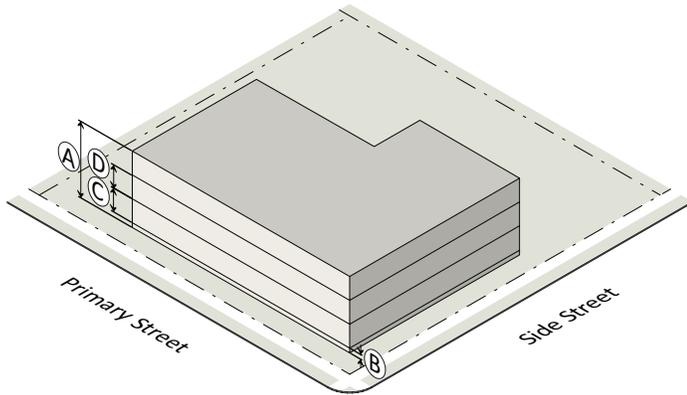


Lot Dimensions	
Ⓐ Lot area (min)	17,500 sf
Ⓑ Lot width (min)	100'
Lot Parameters	
Ⓒ Landscaped open space	25%

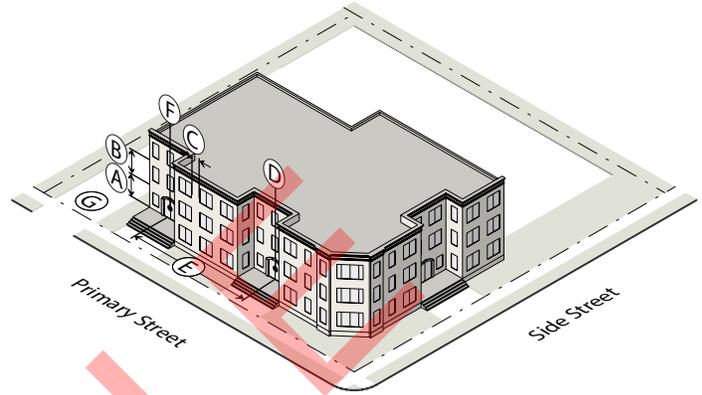
Building Setbacks	
Ⓐ Primary street (min)	5'
Ⓑ Side street (min)	5'
Ⓒ Side interior (min)	0' or 3'
Ⓓ Rear (min)	0' or 3'
Ⓔ Alley (min)	5'

Build-to Zone (BTZ)	
Ⓔ Primary/side street (min/max)	
RX-, CX-	5'/20'
CC-	5'/85'
CH-	n/a
Ⓕ Building in primary street BTZ (min % of lot width)	75%
Ⓖ Building in side street BTZ (min % of lot width)	35%

3. Scale



4. Activation

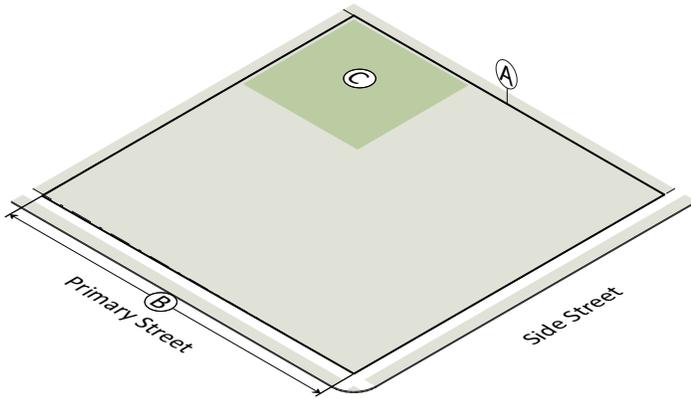


Building Height	
Ⓐ Building height (max)	2/3 stories
Ground Floor Elevation	
Ⓑ Ground floor elevation (min)	2'
Story Height	
Ⓒ Ground story height, floor to ceiling (min)	9'
Ⓓ Upper story height, floor to ceiling (min)	9'

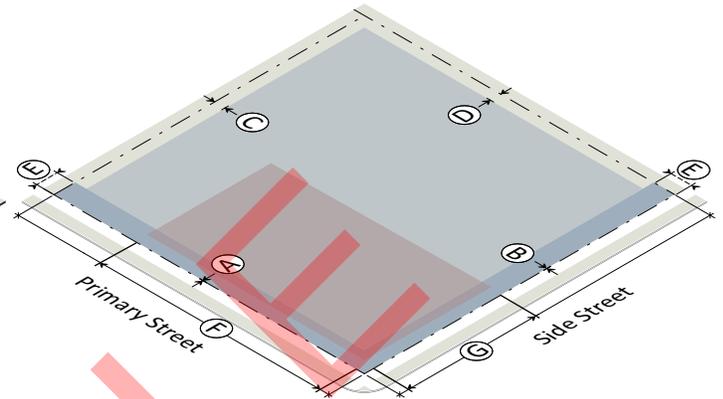
Transparency	
Ⓐ Ground story, primary/side street (min)	20%
Ⓑ Upper story, primary/side street (min)	20%
Ⓒ Blank wall area, primary/side street (max)	30'
Pedestrian Access	
Ⓓ Entrance facing primary street	Required
CH- exemption	n/a
Ⓔ Entrance spacing along primary street (max)	150'
CH- exemption	n/a
Permitted Building Elements	
Ⓕ Front porch, stoop, balcony, awning, forecourt	Allowed
Ⓖ On-Site Parking	
RX-, CX-: No on-site parking between building and street	
CC-: Max 2 bays of on-site parking with single drive aisle between building and street	
CH-: No on-site parking restriction	

4.3.10. Mixed Use Building

1. Lot



2. Placement



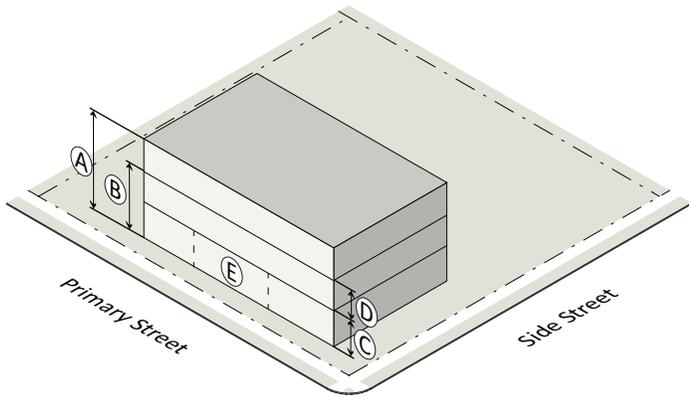
Lot Dimensions	
Ⓐ Lot area (min)	5,000 sf
Ⓑ Lot width (min)	50'
Lot Parameters	
Ⓒ % of outdoor amenity space (min)	20%

Building Setbacks ⁽¹⁾	
Ⓐ Primary street (min)	0'
Ⓑ Side street (min)	0'
Ⓒ Side interior (min)	0' or 3'
Ⓓ Rear (min)	0' or 3'
Ⓓ Rear, alley (min)	5'

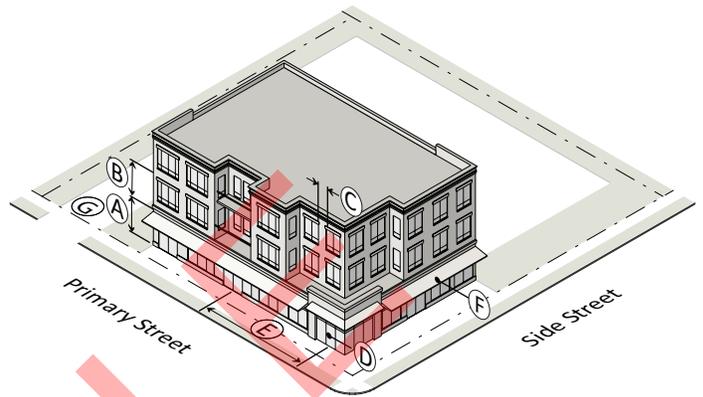
Build-to Zone (BTZ) ⁽¹⁾	
Ⓔ Primary/side street (min/max)	
SH-	0'/5'
CX-, PV-	0'/10'
NX-, CC-	0'/85'
CH-	n/a
Ⓕ Building in primary street BTZ (min % of lot width)	75%
Ⓖ Building in side street BTZ (min % of lot width)	35%

⁽¹⁾ Additional setbacks apply in a PV- district when abutting Highway 92 (see Sec. 4.3.13).

3. Scale



4. Activation



Building Height	
(A) Building height (max)	2/3 stories
(B) Building height (min)	2 stories
Story Height	
(C) Ground story height, floor to ceiling (min)	13'
(D) Upper story height, floor to ceiling (min)	9'
Building Mass	
(E) NX- tenant footprint (max)	15,000 sf

Transparency	
(A) Ground story, primary/side street (min)	60%/30%
(B) Upper story, primary/side street (min)	20%
(C) Blank wall area, primary/side street (max)	20'/40'

Pedestrian Access	
(D) Entrance facing primary street	Required
CH- exemption	n/a
(E) Entrance spacing along primary street (max)	75'
CH- exemption	n/a

Permitted Building Elements	
(F) Balcony, gallery, awning/canopy, forecourt	Allowed

On-Site Parking	
CX-, SH-:	No on-site parking between building and street
NX- CC-:	Max 2 bays of on-site parking with single drive aisle between building and street
PV-:	When abutting Highway 92, max 2 bays of on-site parking with single drive aisle between the building and required streetscape
PV-:	When abutting any other street, no on-site parking between building and street
CH-:	No on-site parking restriction

4.5.2. Use Table

Use Category Specific Use	CORRIDORS & NODES							Definition/ Standards
	RX-	NX-	CX-	SH-	CC-	PV-	CH-	
Open Uses								
All agriculture, as listed below:								9.2.1.A.
Community garden	L	L	L	--	L	L	L	9.2.1.B.
Timber harvesting	--	--	--	--	--	--	--	9.2.1.C.
Urban farm	--	--	L	--	L	L	L	9.2.1.D.
Residential Uses								
All household living, as listed below:								9.3.1.A.
Single-family	C	C	P	--	--	P	--	9.3.1.B.
Two-family	--	--	P	--	--	P	--	9.3.1.C.
Townhouse	P	--	P	--	P	P	P	9.3.1.D.
Multi-family	C	C	C	C	C	C	C	9.3.1.E.
Manufactured home	--	--	--	--	--	--	--	9.3.1.F.
All group living, as listed below:								9.3.2.A.
Continuing care retirement community	L	--	L	--	L	L	L	9.3.2.B.
Group home	P	P	P	P	P	P	P	9.3.2.C.
Hospice	P	C	P	P	P	P	P	9.3.2.D.
Institutional residential (up to 18 residents)	P	P	P	P	P	P	P	9.3.2.E.
Institutional residential (more than 18 residents)	C	P	P	P	P	P	P	9.3.2.E.
Monastery, convent	C	--	P	--	P	P	P	9.3.2.F.
Rooming house	--	--	--	--	--	--	--	9.3.2.G.
All social service and educational	--	--	--	--	--	--	--	9.3.3.A.
Public/Institutional Uses								
All civic, as listed below:								9.4.1.A.
College, university	--	--	P	P	P	P	P	9.4.1.B.
Club or lodge, nonprofit	--	P	P	P	P	P	P	9.4.1.C.
Museum, library	--	P	P	P	P	P	P	9.4.1.D.
Nonprofit service organization	--	P	P	P	P	P	P	9.4.1.E.
Place of worship	--	--	P	--	P	P	P	9.4.1.F.
Public use	P	P	P	P	P	P	P	9.4.1.G.
School, private (K-12)	--	--	P	C	P	P	P	9.4.1.H.
School, public (K-12)	--	--	P	C	P	P	P	9.4.1.I.
School, special	--	--	P	C	P	P	P	9.4.1.J.
All parks and open space, as listed below:								9.4.2.A.
Cemetery	--	--	L	--	L	L	L	9.4.2.B.
Community recreation	L	L	L	--	L	L	L	9.4.2.C.
Conservation area	P	P	P	P	P	P	P	9.4.2.D.
Golf course	--	--	--	--	--	--	--	9.4.2.E.
Park, recreation field (up to 2 acres)	P	P	P	P	P	P	P	9.4.2.F.
Park, recreation field (more than 2 acres)	--	--	--	--	--	--	--	9.4.2.F.
Reservoir, water supply, water well	P	P	P	P	P	P	P	9.4.2.G.

Key: P = Permitted Use L = Limited Use C = Conditional Use -- = Use Not Permitted

Use Category Specific Use	CORRIDORS & NODES							Definition/ Standards
	RX-	NX-	CX-	SH-	CC-	PV-	CH-	
All major utilities, except as listed below	--	--	--	--	--	--	--	9.4.3.A.
Telecommunication tower	--	--	C	--	L	--	L	9.4.3.B.
All minor utilities	L	L	L	L	L	L	L	9.4.4.A./B.
Commercial Uses								
All day care, as listed below:								9.5.1.A.
Adult care center (up to 4 aging adults)	L	L	L	L	L	L	L	9.5.1.B.
Adult care center (more than 4 aging adults)	C	P	P	P	P	P	P	9.5.1.B.
Day care center	L	L	L	L	L	L	L	9.5.1.C.
All indoor recreation, except as listed below:	--	--	P	C	P	P	P	9.5.2.A.
Adult business	--	--	--	--	--	--	--	9.5.2.B.
Gym, health spa, yoga studio	--	P	P	P	P	P	P	9.5.2.C.
School of the arts	--	P	P	P	P	P	P	9.5.2.D.
Shooting range	--	--	P	--	P	P	P	9.5.2.E.
Special event facility	--	C	C	--	C	C	P	9.5.2.F.
All medical	--	P	P	P	P	P	P	9.5.3.A.
All office, except as listed below:	--	P	P	P	P	P	P	9.5.4.A.
Bail bonds	--	--	P	--	P	--	P	9.5.4.B.
Call center	--	--	P	--	P	P	P	9.5.4.C.
Radio, TV station, recording studio	--	--	P	--	P	--	P	9.5.4.D.
Trade, vocational, business school	--	--	P	--	P	P	P	9.5.4.E.
All outdoor recreation, except as listed below:	--	--	C	--	C	C	P	9.5.5.A.
Golf driving range	--	--	C	--	C	C	P	9.5.5.B.
Riding stable	--	--	--	--	--	--	--	9.5.5.C.
Rowing club, boat rental	--	--	P	--	P	--	P	9.5.5.D.
All overnight lodging, as listed below:								9.5.6.A.
Bed and breakfast (up to 6 rooms)	P	P	P	P	P	P	P	9.5.6.B.
Boutique hotel (7 to 30 rooms)	--	C	P	P	P	P	P	9.5.6.C.
Hotel/motel (more than 30 rooms)	--	--	P	P	P	P	P	9.5.6.D.
All parking, as listed below:								9.5.7.A.
Commercial parking	--	--	C	--	C	--	L	9.5.7.B.
Remote parking	L	L	L	--	L	L	L	9.5.7.C.
All personal service, except as listed below:	--	P	P	P	P	P	P	9.5.8.A./D.
Animal care (indoor)	--	P	P	P	P	P	P	9.5.8.B.
Animal care (outdoor)	--	--	--	--	--	--	--	9.5.8.C.
All restaurants	--	P	P	P	P	P	P	9.5.9.A./C.

Key: P = Permitted Use L = Limited Use C = Conditional Use -- = Use Not Permitted

4.5.2. Use Table

Use Category Specific Use	CORRIDORS & NODES							Definition/ Standards
	RX-	NX-	CX-	SH-	CC-	PV-	CH-	
All retail sales, except as listed below:	--	P	P	P	P	L	P	9.5.10.A./G.
Art gallery	L	P	P	P	P	P	P	9.5.10.B.
Convenience store w/ gas pumps	--	--	L	--	L	L	L	9.5.10.C.
Convenience store w/o gas pumps	--	P	P	P	P	P	P	9.5.10.D.
Pawnshop	--	--	--	--	L	L	L	9.5.10.E.
Title loans, check cashing	--	--	--	--	L	L	L	9.5.10.F.
All vehicle sales/rental, as listed below:								9.5.11.A.
Vehicle rental	--	--	L	--	L	--	L	9.5.11.B.
Vehicle sales and leasing, new	--	--	--	--	L	--	L	9.5.11.C.
Vehicle sales and leasing, used	--	--	--	--	C	--	C	9.5.11.D.
Industrial Uses								
All light industrial, except as listed below:	--	--	--	--	--	--	--	9.6.1.A.
Contractors storage	--	--	--	--	--	--	L	9.6.1.B.
Detention center, jail, prison (private)	--	--	--	--	--	--	--	9.6.1.C.
Distillery	--	C	C	C	C	C	C	9.6.1.D.
Microbrewery	--	P	P	P	P	P	P	9.6.1.E.
All light manufacturing	--	--	C	--	C	--	P	9.6.2.A.
All research and development	--	--	P	C	P	--	P	9.6.3.A.
All self-service storage	--	--	--	C	--	--	L	9.6.4.A.
All vehicle service and repair, as listed below:								9.6.5.A.
Car wash	--	C	L	L	L	--	L	9.6.5.B.
Vehicle repair, minor	--	--	L	L	L	--	L	9.6.5.C.
Vehicle repair, major	--	--	L	L	L	--	L	9.6.5.D.
Vehicle repair, commercial vehicle	--	--	--	--	--	--	--	9.6.5.E.
All warehouse and distribution	--	--	--	--	--	--	--	9.6.6.A.
Accessory Uses								
Accessory uses not otherwise listed below, as determined by the Zoning Director:	P	P	P	P	P	P	P	Sec. 9.1.3
Accessory apartment, attached	--	--	--	--	--	C	--	Sec. 9.7.1
Carriage house (existing lot)	--	--	--	--	--	C	--	Sec. 9.7.2
Carriage house (lot subdivided after effective date of this code)	--	--	--	--	--	C	--	Sec. 9.7.2
Car wash	--	--	--	--	L	--	L	Sec. 9.7.3
Donation bin	L	L	L	--	L	L	L	Sec. 9.7.4
Drive-thru facility	--	C	L	C	L	L	L	Sec. 9.7.5
Family day care home	L	L	L	L	L	L	L	Sec. 9.7.6
Farmers' Market	--	L	L	--	L	L	--	Sec. 9.7.7
Garden	L	L	L	L	L	L	L	Sec. 9.7.8
Greenhouse, non-commercial	P	P	P	P	P	P	P	Sec. 9.7.9
Helicopter landing area	--	--	C	--	C	--	C	Sec. 9.7.10

Key: P = Permitted Use L = Limited Use C = Conditional Use -- = Use Not Permitted

Use Category Specific Use	CORRIDORS & NODES							Definition/ Standards
	RX-	NX-	CX-	SH-	CC-	PV-	CH-	
Home occupation	L	L	L	L	L	L	L	Sec. 9.7.11
Horse stable, non-commercial	--	--	--	--	--	--	--	Sec. 9.7.12
Kennel, hobby	--	--	--	--	--	--	--	Sec. 9.7.13
Livestock raising	C	C	C	--	C	C	C	Sec. 9.7.14
Outdoor dining	--	L	L	L	L	L	L	Sec. 9.7.15
Outdoor display	--	L	L	L	L	L	L	Sec. 9.7.16
Outdoor kitchen	L	L	L	L	L	L	L	Sec. 9.7.17
Outdoor storage, limited	--	--	L	--	L	L	L	Sec. 9.7.18
Outdoor storage, general	--	--	--	--	--	--	L	Sec. 9.7.19
Parking, on-site	P	P	P	P	P	P	P	Sec. 9.7.20
Poultry raising	L	L	L	--	L	L	L	Sec. 9.7.21
Solar panels, wind turbines, rainwater collection systems	P	P	P	P	P	P	P	Sec. 9.7.22
Swimming pool	L	L	L	L	L	L	L	Sec. 9.7.23

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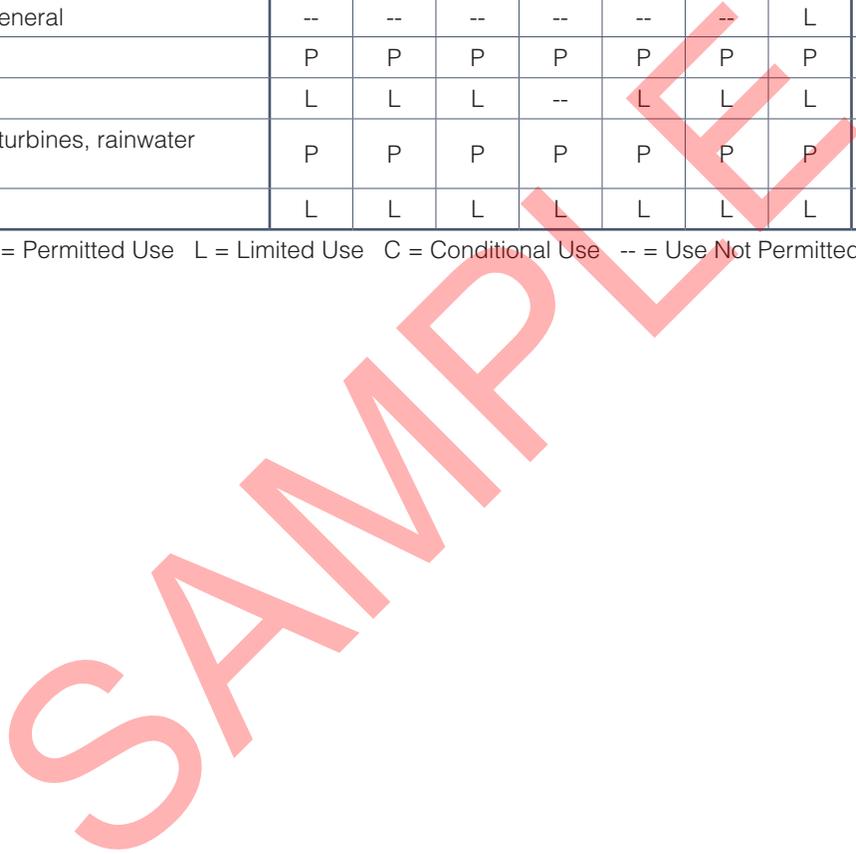


Exhibit CC-5:
Public Participation Plan, Outreach for Phase 2

**City of Encinitas
At Home in Encinitas: Public Participation Plan
Outreach for Phase 2**

OVERVIEW

After a far-reaching public outreach effort in fall and winter of 2014, *At Home in Encinitas* has made significant progress. As we move forward with the next steps in developing a Housing Element update, it will be important to continue to engage the public to both gain additional input and share how the comments provided in the first phase of outreach have been utilized. The outreach conducted in Fall/Winter 2014 generated a lot of interest in the plan and built a foundation of knowledge among the public. With that in mind, the next several months will be dedicated to providing information and encouraging dialog among local stakeholders.

TARGET AUDIENCES

To date there has been a considerable amount of effort to engage a broad spectrum of local stakeholders. Stakeholders in the community include residents, businesses, community members, as well as major institutions and nonprofits invested in our community. Calling on these local groups has helped ensure that a wide audience was reached. The City will maintain this approach to outreach during the second phase by using a variety of communication methods to reach broad and diverse audiences.

ENGAGEMENT STRATEGIES

Initial outreach will focus on re-establishing stakeholder networks and ask these stakeholders to re-engage in the planning process. This network building will involve multiple forms of outreach, which are outlined below.

Digital	Print	Face-to-Face
*City website and newsletter	*Flyers and brochures	*Community Dialogue Sessions
*Social media and multimedia		*Community events
*News releases to local media		*Stakeholder presentations

City Website: A project website is being developed to provide a clear and easy portal for all project information and as a means to collect public input. The public will be able to access project documents, view past agenda reports and council actions, sign-up to receive the newsletter, and submit comments.

Newsletters:

The At Home in Encinitas e-newsletter series will be continued through the City Council adoption of the plan. This e-newsletter will provide up-to-date information about the plan, announce project milestones, and let the public know of public meetings and workshops and other opportunities to provide input.

Media and Multimedia: Regular updates about the plan, key milestones, and opportunities for public comment will be shared with the local media and on the City's social media channels which include Facebook, Twitter, and Instagram.

Flyers and Brochures: Project flyers and brochures will be updated and utilized to feature the three maps under environmental review and showcase the features and differences of each. Infographics will be created to showcase information about the Housing Plan Update in an understandable and visually engaging manner.

Presentations and Community Events: There will be a number of opportunities throughout the remainder of the process where the public will want to share their comments and have their questions answered – the development of design guidelines and zoning code changes, providing comments on the draft EIR, and learning about the final plan. To facilitate public participation at these milestones and ensure the public has the opportunity to share their input, staff will continue to provide presentations on the project to interested community organizations and have a presence at public events (e.g. Fall Festival) to share information about the plan and facilitate input.

Community Dialogue Sessions: Staff will conduct a series of Community Dialogue Sessions – one in each of Encinitas' five communities – to share draft zoning codes and design guidelines changes. Anticipated to take place in the fall 2015, these sessions will occur in an open house format, with information stations divided into different categories that provide an overview of:

- what proposed design guidelines and code changes in that category will achieve;
- broad principles utilized for various site design and building design techniques; and
- illustrations and photos showing how the proposed design guidelines/code changes would be implemented.

Draft EIR Open House: The Draft Environmental Impact Report (EIR) for *At Home in Encinitas* is anticipated to be released for public review and comment in late 2015 or early 2016. This will kick-off a 45-day period where the public can submit written comments. To facilitate the public comment process and provide a forum for the public to gather information about the Draft EIR and ask questions, staff will host an open house workshop. Information provided at this event will be focused on the contents of the Draft EIR and the areas of study. The public will have the opportunity to provide written comments at the meeting.

Final Plan Presentations: Ultimately, the goal is to put the final decision in the hands of the public by allowing them to vote on a Housing Element plan. After staff receives direction during the final City Council and Planning Commission Joint Study Session, City staff will plan and implement a final round of outreach events to present the final plan that will be placed on the November 2016 ballot.